

E2018/ 82519

BYRON BAY

FLOOR SPACE RATIO AREAS				
ZONE NAME	AREA	SITE AREA	FSR 1.3:1	FSR (1.3:1)%
PROPOSED	1,294m ²	1012m ²	1,315.6m ²	98.36%



CLIENT	HYDRAULIC	STRUCTURAL	PLANNER	SURVEYOR	ENVIRO. REPORTS	BCA CONSULTANT	GEOTECH	FIRE ENGINEER
STEVE MANSFIELD MAGNATE DEVELOPMENTS M 0419 130 177 E smansfield@magnatedevelopments.com.au	RYAN BEAVIS ARDILL PAYNE & PARTNERS P (02) 6686 3280 E ryanb@ardillpayne.com.au	RYAN BEAVIS ARDILL PAYNE & PARTNERS P (02) 6686 3280 E ryanb@ardillpayne.com.au	DWAYNE ROBERTS ARDILL PAYNE & PARTNERS P (02) 6686 3280 E dwayne@ardillpayne.com.au	CANTY'S SURVEYORS SCOTT THOMPSON E cantysurveying@bigpond.com	JAMES WALLE GEOTECH INVESTIGATIONS PTY. LTD. E james@geotechninvestigations.com	PETER THORNTON BCA CHECK M 02 6687 7461 E peter@bushfirecertifiers.com.au	JAMES WALLE GEOTECH INVESTIGATIONS PTY. LTD. E james@geotechninvestigations.com	KEVIN YU I-FIRE PTY LTD. E kevin.yu@i-fire.com.au

<div>HARLEY GRAHAM ARCHITECTS</div> <div>1.144 JONSON ST BYRON BAY PO BOX 1285 NSW 2481</div> <div>F: 02 66809820 T: 02 66809690 E: office@harleygraham.com</div> <div>ABN: 85158246003 NSW 7892</div>		<div>• All building works to be carried out in accordance with the Building Code of Australia (BCA) and to the satisfaction of the principle certifying authority.</div> <div>• Builders/Contractors are to verify all dimensions prior to commencement of site work or off-site fabrication.</div> <div>• Figured dimensions take precedence - do not scale.</div> <div>© COPYRIGHT HARLEY GRAHAM ARCHITECTS</div>		<div>ISSUE/REVISIONS</div> <div><div>G DA-APPEAL01.03.18</div><div>H DA - LEC20.07.18</div><div>I DA - LEC REVISED RL/ANNOTATION24.07.18</div><div>J DA - LEC REVISED02.08.18</div><div>K ROOF DECK DESIGN REVIEW07.09.18</div><div>L ACCESSIBILITY & FIRE REVIEW25.09.18</div></div>		<div>ISSUE/REVISIONS</div> <div><div>M DWG ISSUE FOR NOISE ASSESSMENT02.10.18</div><div>N PRELIM-DA ISSUE02.10.18</div><div>O PRELIM-DA ISSUE II04.10.18</div><div>P DA - LEC REVISED08.10.18</div><div>Q DA ISSUE09.10.18</div></div>		<div>CLIENT</div> <div>MAGNATE DEVELOPMENT</div> <div>ADDRESS</div> <div>4 MARVELL ST</div> <div>APPROVED: HG</div> <div>JOB NO: HGA180</div>		<div>JOB NAME</div> <div>4 MARVELL ST</div> <div>LOT + DP</div> <div>LOT B</div> <div>DP 325634</div> <div>SCALE</div> <div>PAPER</div> <div>ISSUE</div> <div>DWG NO</div> <div>REV</div>		<div>DRAWING</div> <div>COVER</div> <div>A2</div> <div>DA</div> <div>0.0</div> <div>Q</div>	
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BYRON HOTEL
ROOM TAGS & TYPES

BASEMENT

BCP	BASEMENT CARPARK
BS-1	BASEMENT STORE 1
BS-2	BASEMENT STORE 2

GROUND

FG-A/B	FIRE ESCAPE GROUND A & B
FG-B	FIRE ESCAPE GR/BASEMENT
RH	RESTAURANT / BAR / KITCHEN
HR	HOTEL RECEPTION
HM	HOTEL MANAGERS QUART.
HS	HOTEL STORE / LINEN
WCA	TOILET AMBULENT
WCF	TOILET FEMALE
WCM	TOILET MALE
R1	RETAIL TENANCY 1
R2	RETAIL TENANCY 2
SSG	LINEN CHUTE BASE
SG	SERVICE CORRIDOR G
LS	LUGGAGE STORE

LEVEL 1

F1-A/B	FIRE ESCAPE L1 A & B
SC1-4	STORAGE CUBS 1-4
H1-2	TYPICAL HOTEL ROOMS 1-2
H4-5	TYPICAL HOTEL ROOMS 4-5
H7-11	TYPICAL HOTEL ROOMS 7-11
H3	DELUXE SUITE
H6	DISABLED SUITE
H12	DOUBLE ROOM
SS1	LAUNDRY SHOOT
S1	SERVICE CORRIDOR

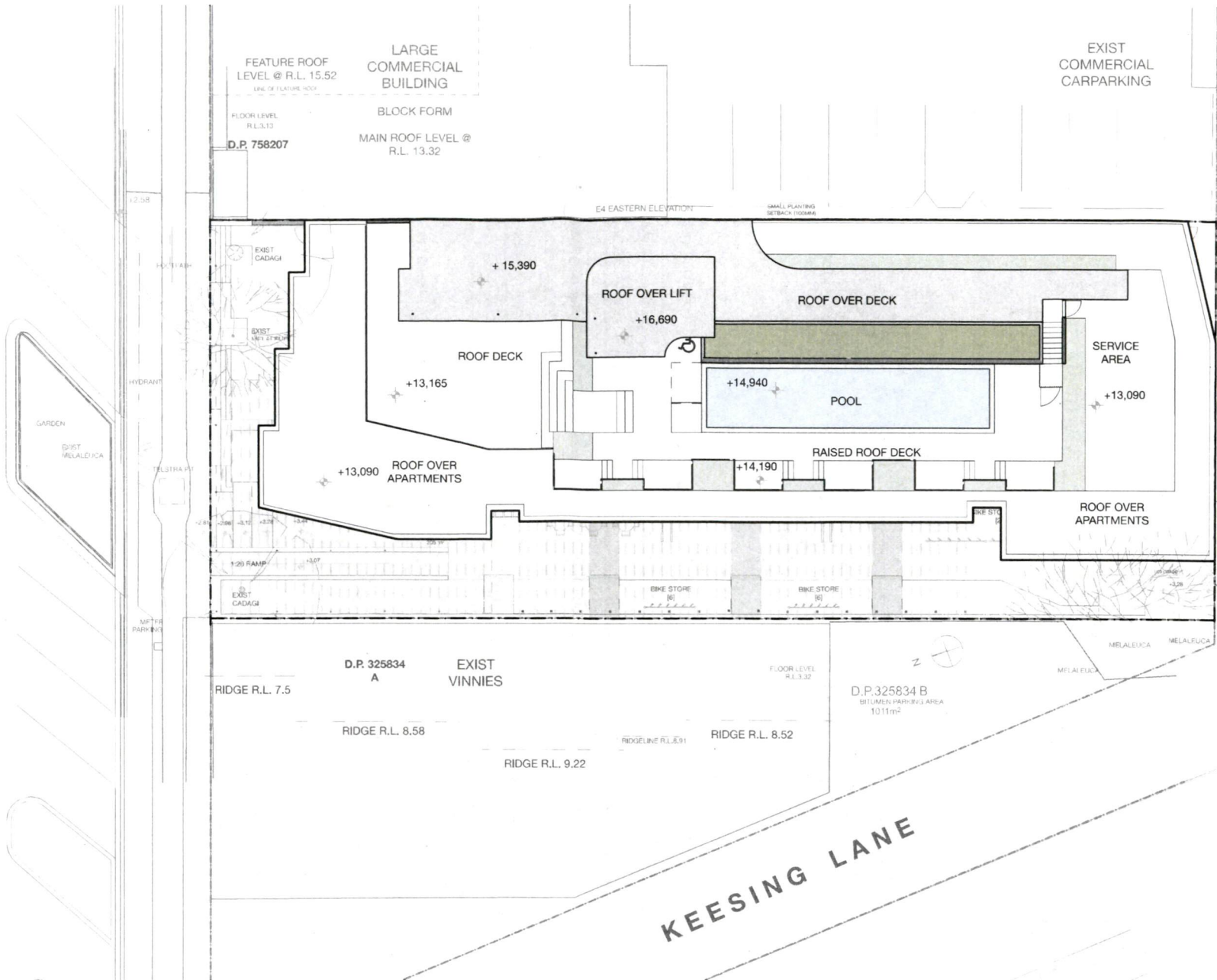
LEVEL 2

F2-A/B	FIRE ESCAPE L2 A & B
SC5-9	STORAGE CUBS 5-9
H13-14	TYPICAL HOTEL ROOMS 13-14
H16-17	TYPICAL HOTEL ROOMS 16-17
H19-24	TYPICAL HOTEL ROOMS 19-23
H15	DELUXE SUITE
H18	DISABLED SUITE
H24	DELUXE SUITE
SS2	LAUNDRY SHOOT
S2	SERVICE CORRIDOR

ROOF DECK

F3	FIRE ESCAPE L3
RD	ROOF DECK
PD	POOL DECK
P	POOL
CR	CHANGE ROOMS
PS	POOL SERVICES
WC-R	UNISEX TOILETS

MARVELL STREET



MARVELL LANE
6.095
WIDE

EXIST
2 STOREY
CONCRETE
BLOCK
BUILDING
"BYRON BAY
BUNK
HOUSE"

RATIONALE & URBAN DESIGN STATEMENT:

The Marvell Street Hotel has taken a unique dynamic form; the result of acutely responding to ideal urban outcomes for the wider community and prospective tenants of the building. These outcomes were outlined from the beginning of the project, balancing developer feasibility with the ideal outcomes for the Byron Bay local community.

Outcomes that have driven the project include:

- 1. Staggered forms to reduce height perception from the street:** Despite being taller at points than the neighbouring commercial building, the perceived height of the building is considerably smaller due to intelligent stepping and sacrifices in building mass to key public areas.
- 2. Shaped and situated to protect existing established trees:** Our vision is to retain the 3 major native trees towards the front end of the site. To achieve this we have staggered the basement and building form backward in order to protect their critical root zones. These trees will provide the shading for the Northern edge of the building. We have also setback the building from the South West, in order to retain the bulk of existing canopies of the 3 Maeleuca trees on the adjacent property. This is quite literally what gives the building its unique form - far from a whimsical gesture.
- 3. Public amenity through introducing a laneway:** A big push throughout the design process was to incorporate a laneway into the project as to increase the amount of shaded areas to sit within the town, which we currently see in short supply. The success of arcades and laneways is becoming a clearly desirable outcome for improving urban density without retracting from the original character of the area.
- 4. Lowered car parking, increased cycling:** We're pushing to take non-local traffic off the roads by providing for-hire cycling amenities on site, incorporating them into the design of the laneway in a way which promises to be exciting and engaging for the building's inhabitants.
- 5. Operability, outdoor and indoors are strongly connected:** Screening protects from western sun and dapples light throughout the public areas to create sheltered transitions between inside and outside.
- 6. Passive shading:** the planting is designed to spill over into the lane in conjunction with the lightweight pergola to the west, this will dapple the afternoon light sufficiently to reduce peak temperatures of the building throughout the year. This is the best way to enjoy Byron Bay's climate.
- 7. Raw Aesthetic:** The fibro-shack has long been an icon in Byron, honest dwellings and places that expose their true material nature - this building will remain true to this simple and timeless principle.

We picture the Marvell Street Hotel to slot into the site, its presence in the urban environment will be considerate and enjoyable to inhabit for locals and tourists alike. The building typology strives to front the issue regarding dispersed Airbnb accommodation by efficiently creating densely compacted tourism amenity. Low profile yet efficient tourism solutions situated on sites like 4 Marvell Street in the near center of town can help repair some of the drastic issues the local community faces with rapidly expanding tourism and resultant housing affordability. We believe that the Marvell Street Hotel can set a new standard for this difficult balance.

LOCATION PLAN:



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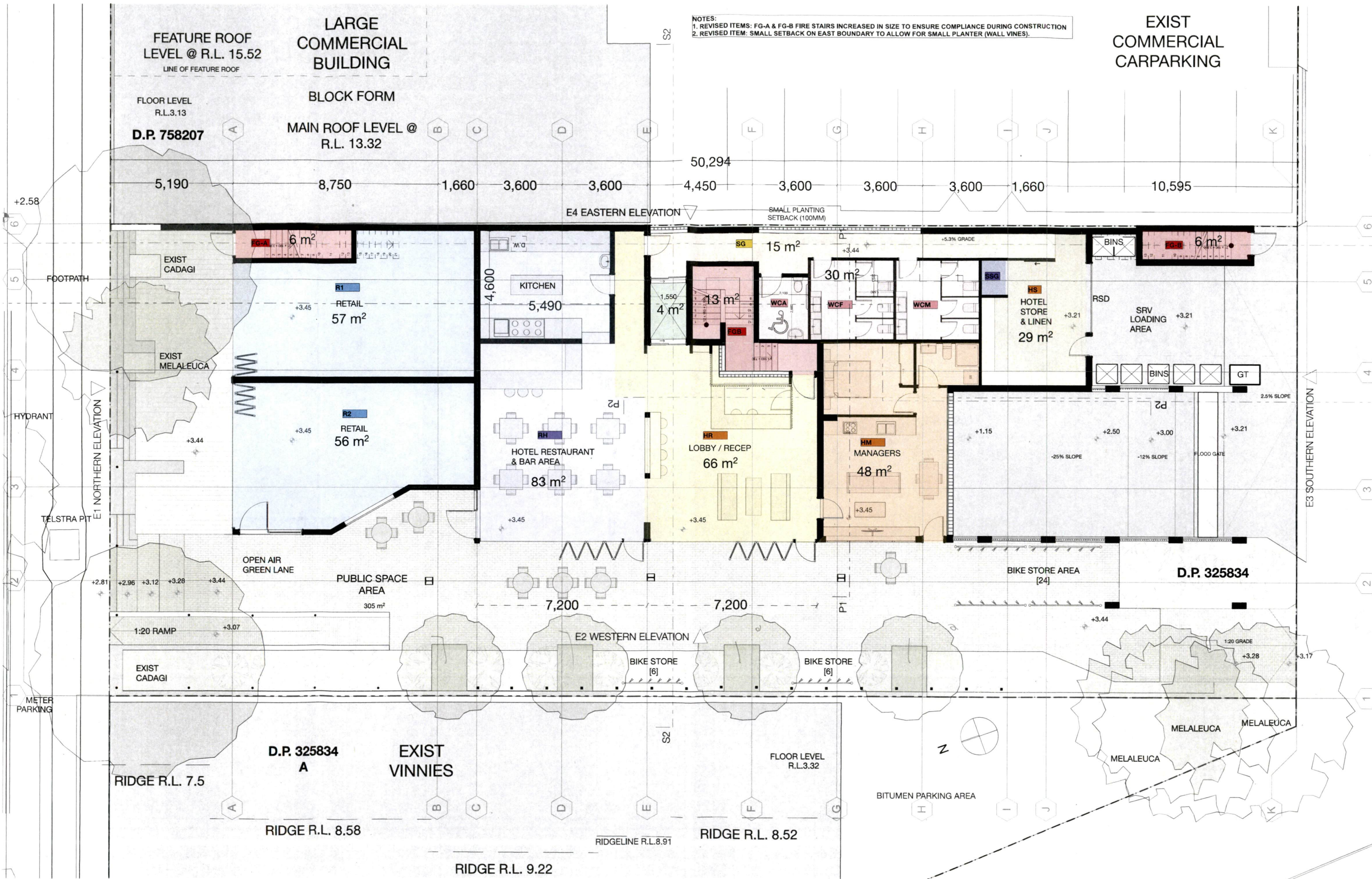
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Q	DA ISSUE	09.10.18	

CLIENT	MAGNATE DEVELOPMENT	ADDRESS	4 MARVELL ST	APPROVED: HG	JOB NO: HGA180
JOB NAME	4 MARVELL ST	LOT + DP	LOT B	SCALE	PAPER
DRAWING	SITE PLAN & DEVELOPMENT SUMMARY			ISSUE	DWG NO
				A2	DA 1.0
					Q



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DRAWING	GROUND FLOOR PLAN			1:100	A2 DA 1.2 Q



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JOB NAME	4 MARVELL ST	LOT + DP	LOT B	SCALE	PAPER
DRAWING	LEVEL 1	LOT B	DP 325834	ISSUE	DWG NO
				1:100	A2 DA 1.3 Q



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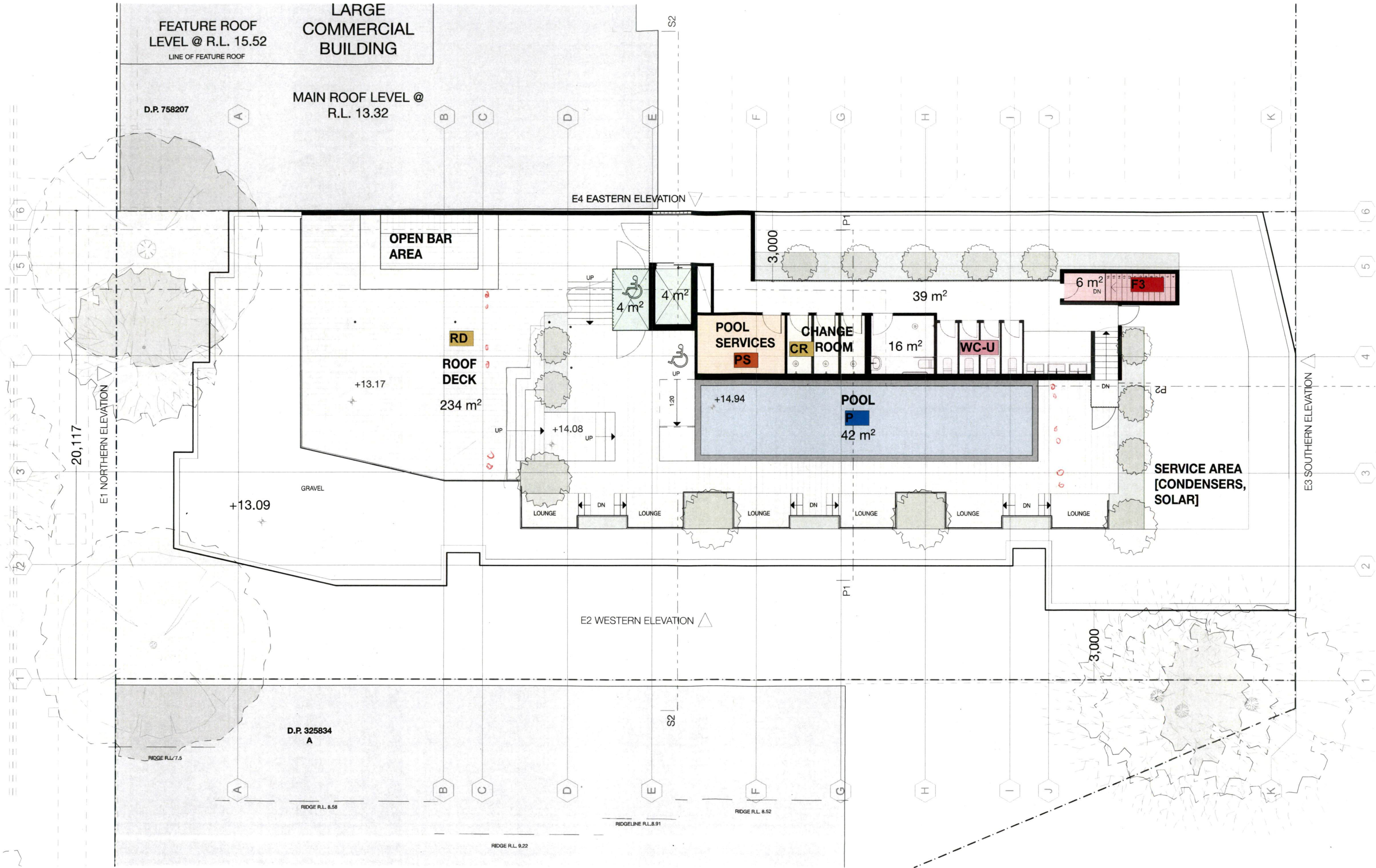
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DRAWING	LEVEL 2	ISSUE	DA 1.4	DWG NO	REV
				1:100	A2



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DRAWING	ROOF	ISSUE	1:100	DA	1.5
		REV	Q		

LANDSCAPING & LANEWAY PLAN

At the heart of Byron Bay's perceived culture is a respect and utilisation of the local climate and native floras. Yet currently within the town few large scale developments attempt to bolster this cultural prerogative. The Marvell Street Hotel design is centered around giving back a cool shaded oasis to the public realm in the form of it's laneway.

Despite the buildings scale we will strive to showcase the ability of landscaping to provide a public oasis amongst the typically dry landscape of the town - setting an example for future developments and an expectation for local residents to find a connection to local nature in developments of this type. This laneway will provide a new standard for large developments by creating green public spaces within a building programme which has a permeable threshold with the street.

Species to be nominated by Landscape Architect will be both native and low-water consumption, with the potential addition of non-native plants in the case of hanging plants if no suitable native species are available for this purpose.

P L A N T I N G A R E A S		
LEVEL	DEPTH <small>(MIN-MAX)</small>	AREA M ²
GROUND FLOOR	1000MM-SOIL	100M ²
LEVEL 1	900MM	51M ²
LEVEL 2	900MM	56M ²
ROOF	700MM-1400MM	60M ²
		TOTAL M ²
		267M ²

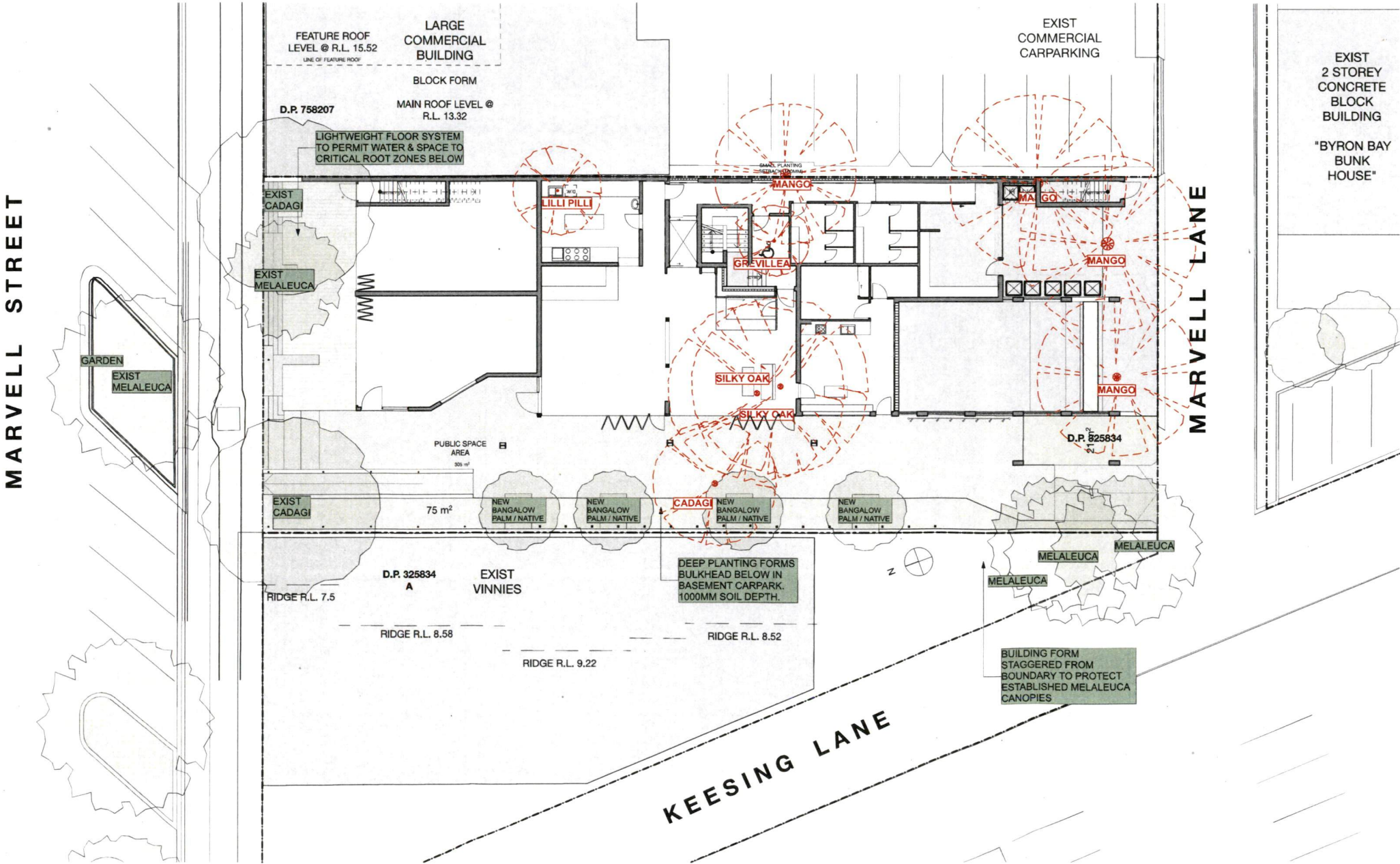
LANEWAY RESTAURANT FROM GROUND:



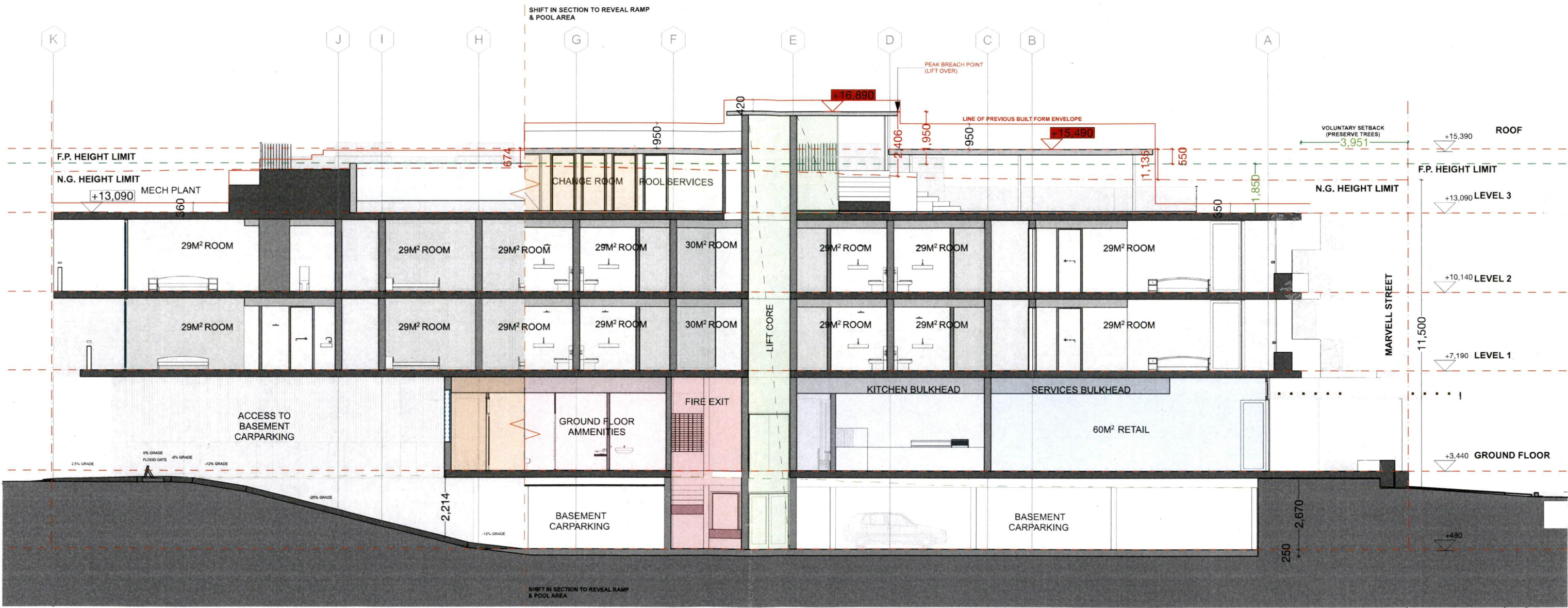
VIEW FROM 4 MARVEL: EXISTING TREES RETAINED



VIEW OF LANEWAY ELEVATED:



4 MARVELL STREET
NORTH - SOUTH SECTION



LONG SECTION 1

1:100

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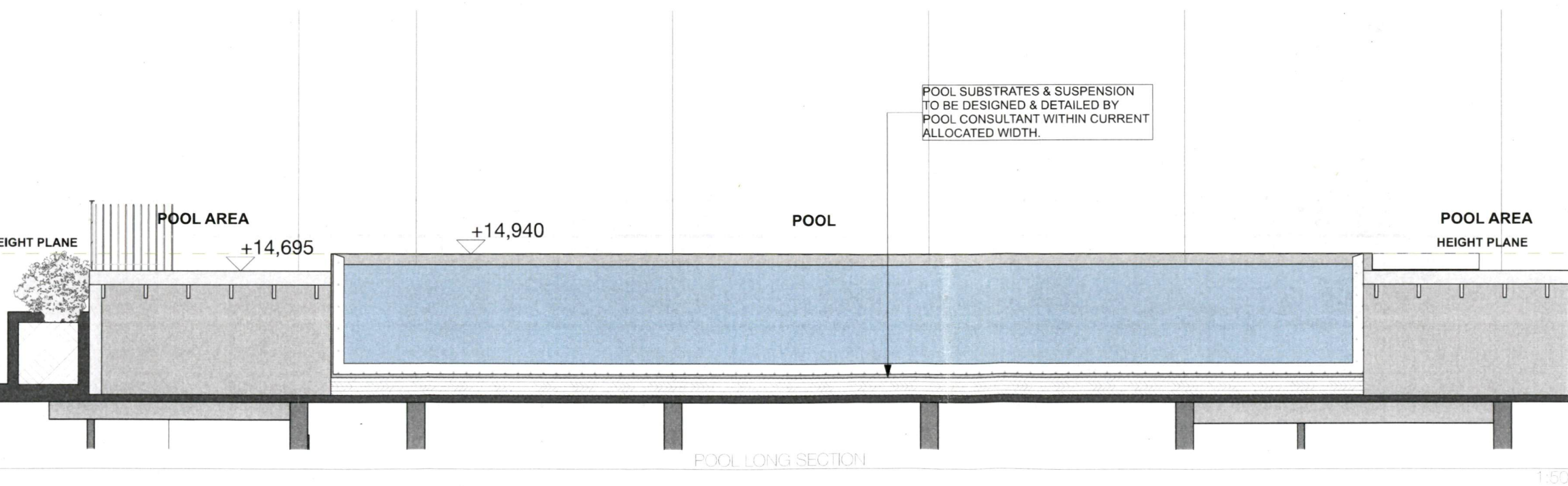
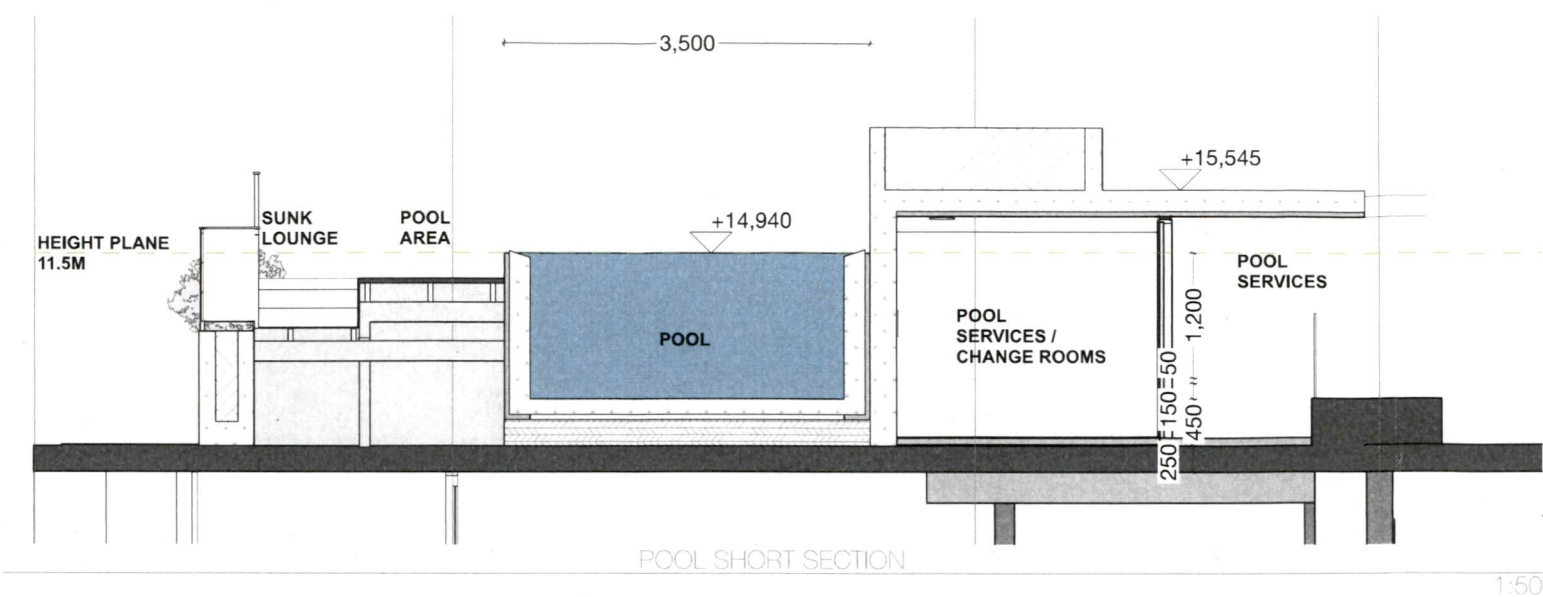
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DRAWING	SECTION 1 - NORTH - SOUTH	ISSUE	DA 3.1	REV	Q

4 MARVELL STREET

DA RFI - POOL SECTIONS



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