DA APPLICATION - HOTEL

4 MARVELL STREET

BYRON BAY

DRAW	ING LIST
0.0	COVER
1.0	SITE PLAN & DEVELOPMENT SUMMARY
1.1	BASEMENT
1.2	GROUND FLOOR PLAN
1.3	LEVEL 1
1.4	LEVEL 2
1.5	ROOF
1.6	LANDSCAPING & LANEWAY PLAN
2.1	ELEVATIONS
3.1	SECTION 1 - NORTH - SOUTH
3.2	SECTION 2 - EAST-WEST
4.1	POOL SECTIONS
5.1	HEIGHT PLANE PLAN
5.2	HEIGHT PLANE DIAGRAMS
5.3	MONTAGE PERSPECTIVES
5.4	MARVELL LANE - STREET USE SURVEY
5.5	SHADOW DIAGRAMS
5.6	VIEW COMPARISON STUDY 1
5.7	VIEW COMPARISON STUDY 2
5.8	VIEW COMPARISON STUDY 3
5.9	VIEWS TO EAST AND SOUTH STUDY

TRANSPORT	
BASEMENT CARS [2500MM]	17
BASEMENT CARS [DISABLED]	1
BICYCLES IN LANEWAY	36

ROOM TYPE	ES	
ZONE NAME	NO#	INTERNAL M ²
STANDARD HOTEL ROOM	18	28M ²
DELUXE ROOM	4	31-42M ²
DISABLED HOTEL ROOM	1	31M ²
DOUBLE ROOM	1	53M ²
	TOTAL ROOMS	TOTAL ROOM M ²
	24	745M ²

FLOO	RSP	ACER	ATIO	AREAS
ZONE NAME	AREA	SITE AREA	FSR 1.3:1	FSR (1.3:1)%
PROPOSED	1,294m ²	1012m²	1,315.6m ²	98.36%



STEVE MANSFIELD
MAGNATE DEVELOPMENTS

HYDRAULIC

RYAN BEAVIS ARDILL PAYNE & PARTNERS P (02) 6686 3280 E ryanb@ardillpayne.com.au

STRUCTURAL

RYAN BEAVIS ARDILL PAYNE & PARTNERS P (02) 6686 3280 E ryanb@ardillpayne.com.au

PLANNER

DWAYNE ROBERTS ARDILL PAYNE & PARTNERS P (02) 6686 3280 E dwayner@ardillpayne.com.au

SURVEYOR

E cantyssurveying@bigpond.com

ENVIRO. REPORTS

JAMES WALLE GEOTECH INVESTIGATIONS PTY. LTD. E james@geotechinvestigations.com

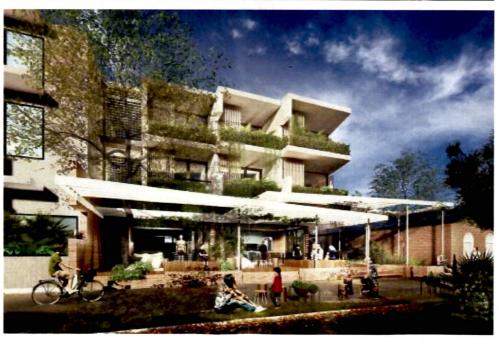
BCA CONSULTANT

PETER THORNTON BCA CHECK M 02 6687 7461 E peter@bushfirecertifiers.com.au

GEOTECH









HARLEY GRAHAM ARCHITECTS

1.144 JONSON ST BYRON BAY | PO BOX 1285 NSW 2481

F: 02 66809820 | T: 02 66809690 | E: office@harleygraham.com ABN: 85158246003 NSW 7892

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• Builders/Contractors are to verify all dimensions prior to

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ISSUE/REVISIONS

DA-APPEAL DA - LEC DA - LEC REVISED RL/ANNOTATION

DA - LEC REVISED ROOF DECK DESIGN REVIEW ACCESSIBILITY & FIRE REVIEW 01.03.18

20.07.18

24.07.18

02.08.18

07.09.18

ISSUE/REVISIONS

DA ISSUE DA ISSUE

DWG ISSUE FOR NOISE ASSESMENT PRELIM-DA ISSUE PRELIM-DA ISSUE II

03.10.18 04.10.18 08.10.18

09.10.18

JAMES WALLE GEOTECH INVESTIGATIONS PTY, LTD. E james@geotechinvestigations.com

FIRE ENGINEER KEVIN YU I-FIRE PTY LTD.

CLIENT	MAGNATE DEVELOPMENT	ADDRESS	4 MARVELL ST		4 MARVELL ST APPROVED: HG		: HG	JOB	NO: HGA	1180
JOB NAME	4 MARVELL ST	LOT + DP	LOTB	DP 325834	SCALE	PAPER	ISSUE	DWG NO	REV	
DRAWING		COVER				A2	DA	0.0	Q	

BYRON HOTEL ROOM TAGS & TYPES

BASEMENT

BCP	BASEMENT CARPARK
BS-1	BASEMENT STORE 1
BS-2	BASEMENT STORE 2

BS-2

GROUND

G-A/B FIRE ESCAPE GROUND A & B

FIRE ESCAPE GR/BASEMENT

RESTAURANT / BAR / KITCHEN

HR HOTEL RECEPTION

HM HOTEL MANAGERS QUART.

HS HOTEL STORE / LINEN

WCA TOILET AMBULENT

WCF TOILET FEMALE

TOILET MALE
R1 RETAIL TENANCY 1
R2 RETAIL TENANCY 2

SG LINEN CHUTE BASE
SG SERVICE CORRIDOR G
LS LUGGAGE STORE

LEVEL 1

SC1-4 STORAGE CUBS 1-4
H1-2 TYPICAL HOTEL ROOMS 1-2
H4-5 TYPICAL HOTEL ROOMS 4-5
H7-11 TYPICAL HOTEL ROOMS 7-11

DELUXE SUITE
H6 DISABLED SUITE
H12 DOUBLE ROOM
SS1 LAUNDRY SHOOT
S1 SERVICE CORRIDOR

LEVEL 2

FIRE ESCAPE L2 A & B
SC5-9 STORAGE CUBS 5-9
H13-14 TYPICAL HOTEL ROOMS 13-14
H16-17 TYPICAL HOTEL ROOMS 16-17

H16-17 TYPICAL HOTEL ROOMS 16-17 H19-24 TYPICAL HOTEL ROOMS 19-23

H15 DELUXE SUITE
H18 DISABLED SUITE
H24 DELUXE SUITE

LAUNDRY SHOOT
SERVICE CORRIDOR

ROOF DECK

FIRE ESCAPE L3

RD ROOF DECK
POOL DECK

POOL
CHANGE ROOMS

PS POOL SERVICES
WC-R UNISEX TOILETS

EXIST LARGE FEATURE ROOF COMMERCIAL COMMERCIAL LEVEL @ R.L. 15.52 CARPARKING BUILDING BLOCK FORM MAIN ROOF LEVEL @ D.P. 758207 R.L. 13.32 Ш ≥ Z ш + 15.390 Ø Ш ROOF OVER LIFT BOOF OVER DECK C +16,690 SERVICE ROOF DECK S +13,165 +13,090 Ш POOL > C RAISED ROOF DECK Ш +13,090 ROOF OVER APARTMENTS A > $\sum_{i=1}^{n}$ 8 ROOF OVER V METER D.P. 325834 FXIST FLOOR LEVEL R.L.3.32 VINNIES RIDGE R.L. 7.5 D.P.325834 B RIDGE R.L. 8.58 RIDGE R.L. 8.52 RIDGE R.L. 9.22 KEESING LANE

RATIONALE & URBAN DESIGN STATEMENT:

The Marvell Street Hotel has taken a unique dynamic form; the result of acutely responding to ideal urban outcomes for the wider community and prospective tenants of the building. These outcomes were outlined from the beginning of the project, balancing developer feasibility with the ideal outcomes for the Byron Bay local community.

Outcomes that have driven the project include:

1. Staggered forms to reduce height perception from the street: Despite being taller at points than the neighbouring commercial building, the perceived height of the building is considerably smaller due to intelligent stepping and sacrifices in building mass to key public areas.

2. Shaped and situated to protect existing established trees: Our vision is to retain the 3 major native trees towards the front end of the site. To achieve this we have staggered the basement and building form backward in order to protect their critical root zones. These trees will provide the shading for the Northern edge of the building. We have also setback the building from the South West, in order to retain the bulk of existing canopies of the 3 Maeleluca trees on the adjacent property. This is quite literally what gives the building its unique form - far from a whimsical gesture.

3. Public amenity through introducing a laneway: A big push throughout the design process was to incorporate a laneway into the project as to increase the amount of shaded areas to sit within the town, which we currently see in short supply. The success of arcades and laneways is becoming a clearly desirable outcome for improving urban density without retracting from the original character of the area.

4. Lowered car parking, increased cycling: We're pushing to take non-local traffic off the roads by providing for-hire cycling amenities on site, incorporating them into the design of the laneway in a way which promises to be exciting and engaging for the building's inhabitants.

5. Operability, outdoor and indoors are strongly connected: Screening protects from western sun and dapples light throughout the public areas to create sheltered transitions between inside and outside.

6. Passive shading: the planting is designed to spill over into the lane in conjunction with the lightweight pergola to the west, this will dapple the afternoon light sufficiently to reduce peak temperatures of the building throughout the year. This is the best way to enjoy Byron Bay's climate.

7. Raw Aesthetic: The fibro-shack has long been an icon in Byron, honest dwellings and places that expose their true material nature - this building will remain true to this simple and timeless principle

We picture the Marvell Street Hotel to slot into the site, its presence in the urban environment will be considerate and enjoyable to inhabit for locals and tourists alike. The building typology strives to front the issue regarding dispersed AirBnb accommodation by efficiently creating densely compacted tourism amenity. Low profile yet efficient tourism solutions situated on sites like 4 Marvell Street in the near center of town can help repair some of the drastic issues the local community faces with rapidly expanding tourism and resultant housing affordability. We believe that the Marvell Street Hotel can set a new standard for this difficult balance.

ISSUE/REVISIONS

LOCATION PLAN:



EXIST 2 STOREY

CONCRETE BLOCK

BUILDING

"BYRON BAY BUNK HOUSE" S.P.57971

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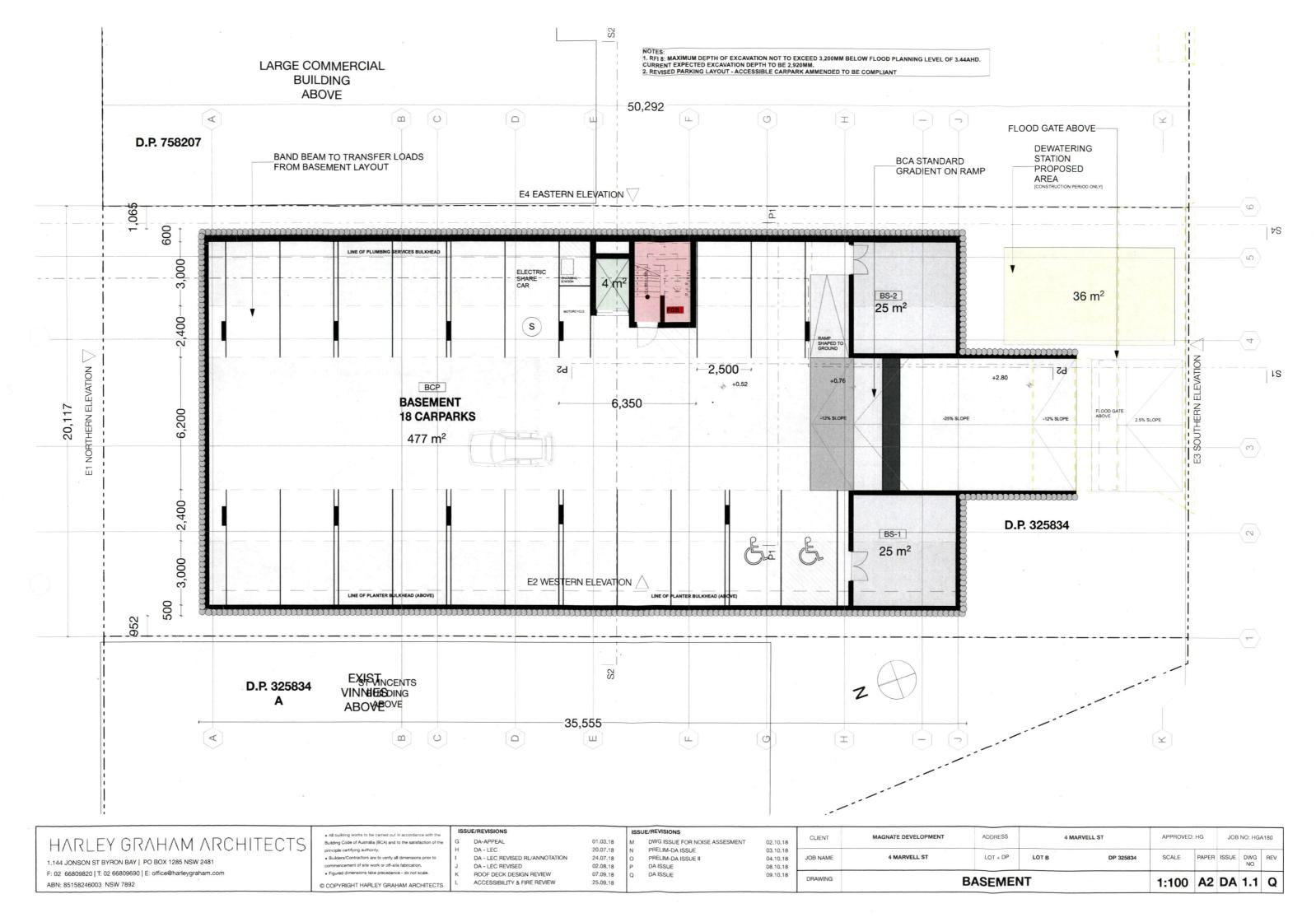
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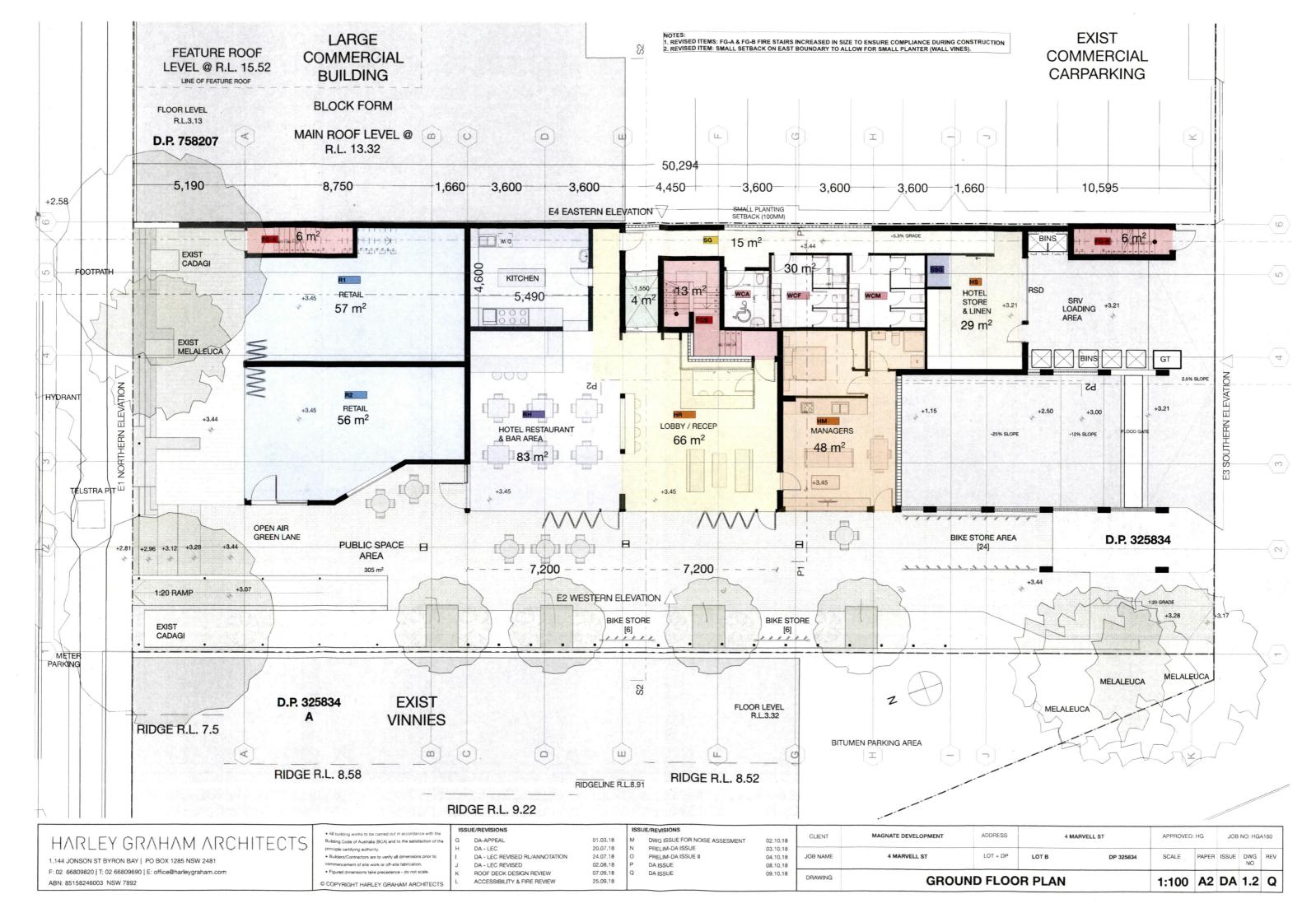
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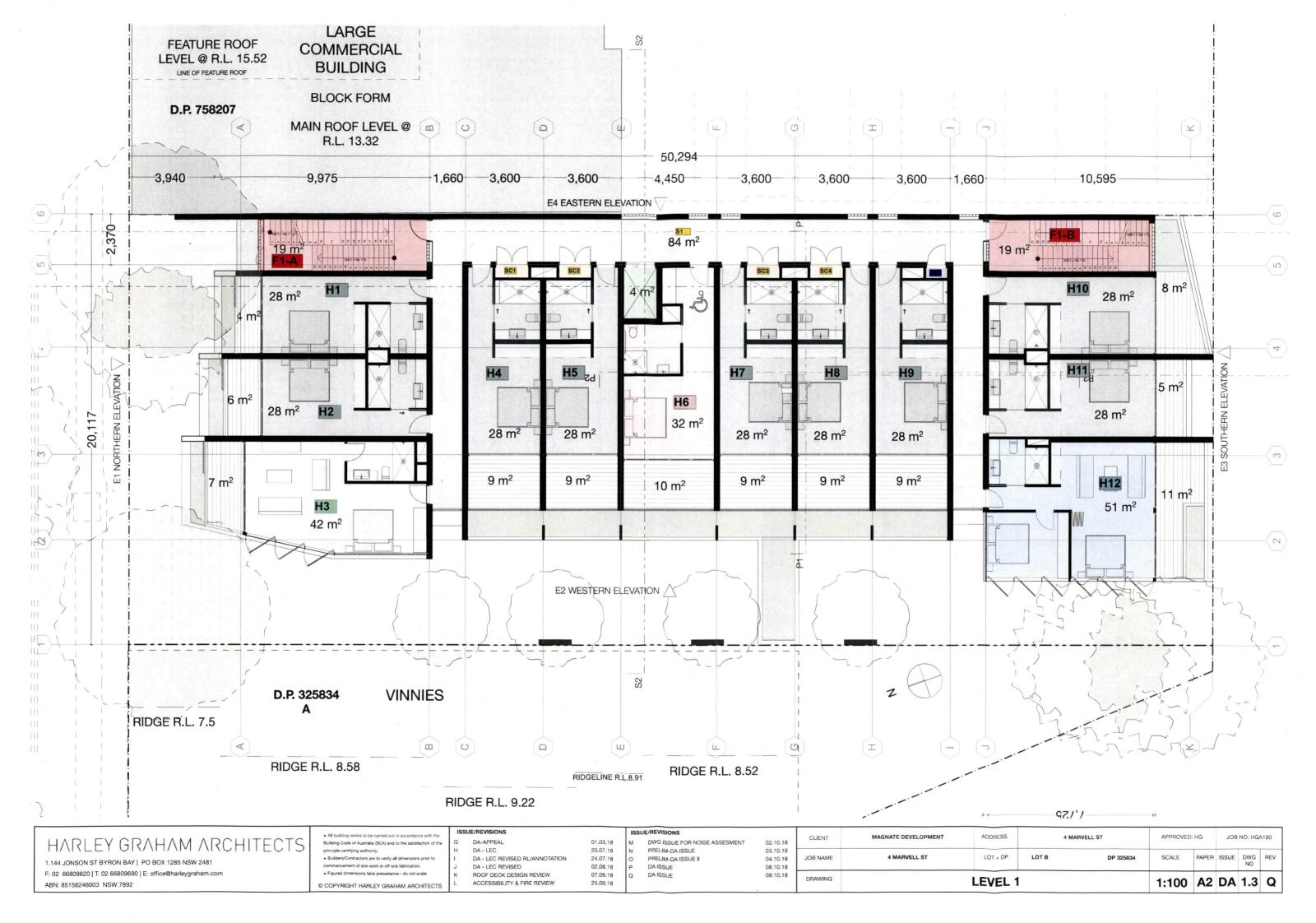
S	SUE/REVISIONS	
	DA-APPEAL	01.03.18
	DA - LEC	20.07.18
	DA - LEC REVISED RL/ANNOTATION	24.07.18
	DA - LEC REVISED	02.08.18
	ROOF DECK DESIGN REVIEW	07.09.18
	ACCESSIBILITY & FIRE REVIEW	25.09.18

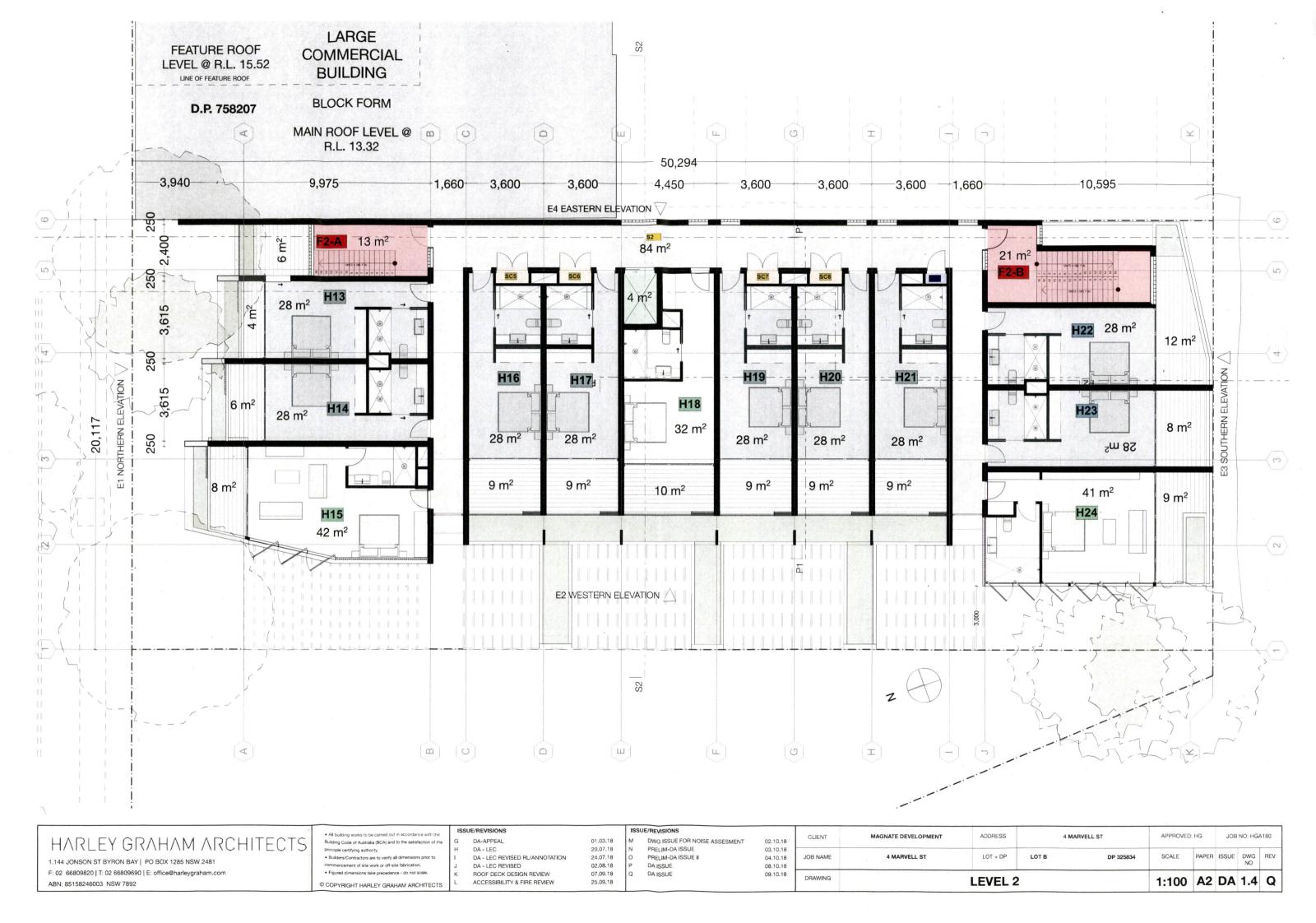
DWG ISSUE FOR NOISE ASSESMENT	02.10.
PRELIM-DA ISSUE	03.10.
PRELIM-DA ISSUE II	04.10.
DA ISSUE	08.10.
DA ISSUE	09.10.

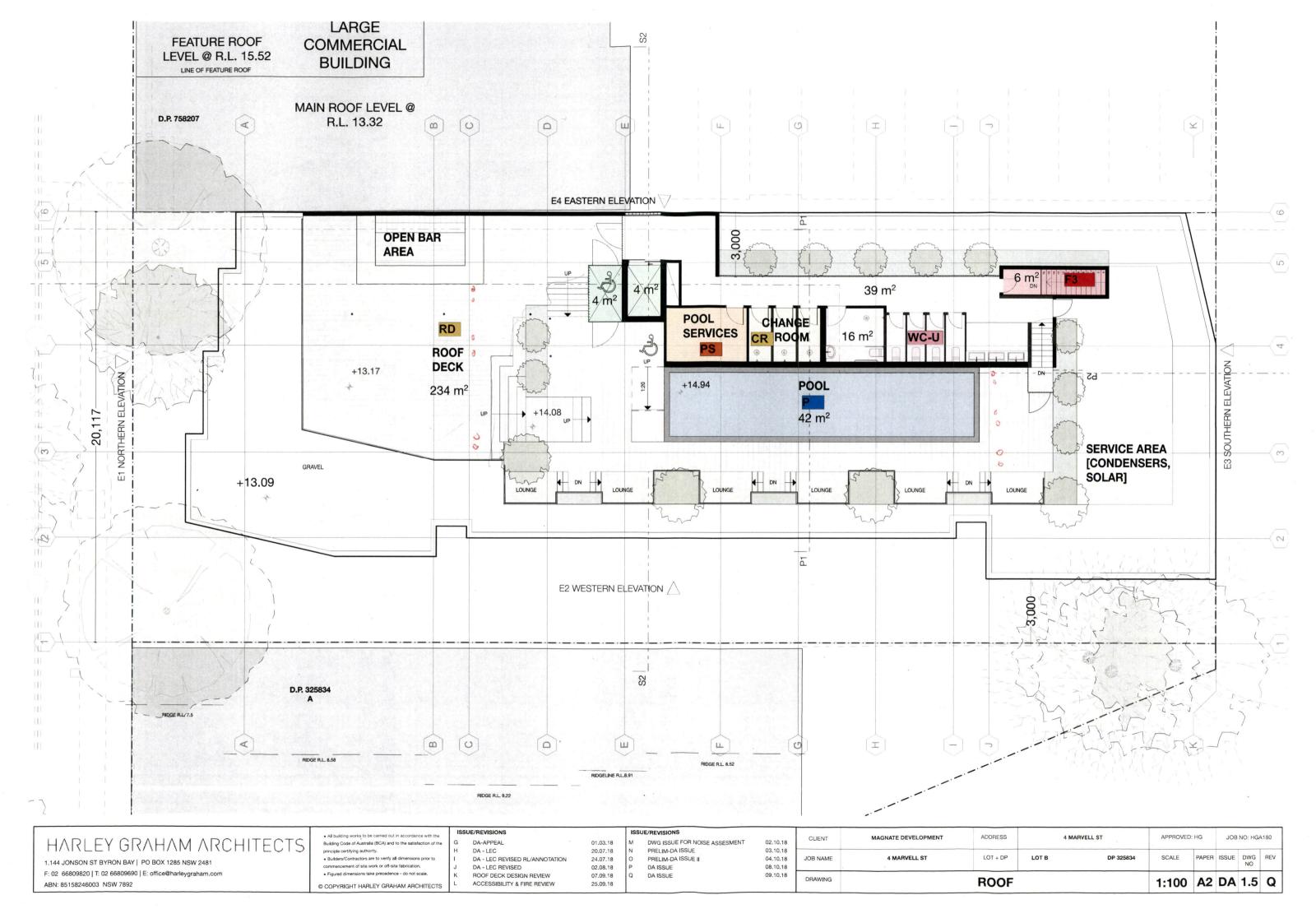
CLIENT	MAGNATE DEVELOPMENT	ADDRESS	4 M	ARVELL ST	APPROVED: HG		JOB	A180	
JOB NAME	4 MARVELL ST	LOT + DP	LOT B DP 325834		SCALE	PAPER	ISSUE	DWG NO	REV
DRAWING	SITE PLAN & DE		A2	DA	1.0	Q			











LANDSCAPING & LANEWAY PLAN

At the heart of Byron Bay's perceived culture is a respect and utilisation of the local climate and native floras. Yet currently within the town few large scale developments attempt to bolster this cultural prerogative. The Marvell Street Hotel design is centered around giving back a cool shaded oasis to the public realm in the form of it's laneway.

Despite the buildings scale we will strive to showcase the ability of landscaping to provide a public oasis amongst the typically dry landscape of the town - setting an example for future developments and an expectation for local residents to find a connection to local nature in developments of this type. This laneway will provide a new standard for large developments by creating green public spaces within a building programme which has a permeable threshold with the street.

Species to be nominated by Landscape Architect will be both native and low-water consumption, with the potential addition of non-native plants in the case of hanging plants if no suitable native species are available for this purpose.

PLANTINO	AREAS	
LEVEL	DEPTH (MIN-MAX)	AREA M ²
GROUND FLOOR	1000MM-SOIL	100M ²
LEVEL 1	900MM	51M ²
LEVEL 2	900MM	56M ²
ROOF	700MM-1400MM	60M ²
		TOTAL M ²

267M²

EXIST LARGE FEATURE ROOF COMMERCIAL COMMERCIAL LEVEL @ R.L. 15.52 BUILDING CARPARKING EXIST 2 STOREY **BLOCK FORM** CONCRETE BLOCK MAIN ROOF LEVEL @ BUILDING "BYRON BAY BUNK HOUSE" Z Ш 4 Ш α S II I Ш > Œ Ш d > 5 MAR D.P. 325834 EXIST RIDGE R.L. 7.5 RIDGE R.L. 8.58 **RIDGE R.L. 8.52 RIDGE R.L. 9.22** KEESING LANE

LANEWAY RESTAURANT FROM GROUND:



VIEW FROM 4 MARVEL: EXISTING TREES RETAINED



VIEW OF LANEWAY ELEVATED:



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DA-APPEAL DA - LEC DA - LEC REVISED RL/ANNOTATION DA - LEC REVISED ROOF DECK DESIGN REVIEW

ACCESSIBILITY & FIRE REVIEW

01.03.18 DWG ISSUE FOR NOISE ASSESMENT 20.07.18 PRELIM-DA ISSUE 24.07.18 PRELIM-DA ISSUE II 02.08.18 DA ISSUE

25.09.18

02.10.18 03.10.18 04.10.18 08.10.18 09.10.18

MAGNATE DEVELOPMENT CLIENT 4 MARVELL ST JOB NAME DRAWING **LANDSCAPING & LANEWAY PLAN**

ADDRESS LOT + DP

4 MARVELL ST APPROVED: HG JOB NO: HGA180 DP 325834 PAPER ISSUE DWG

1:100 A2 DA 1.6 Q

ELEVATIONS

NORTHERN ELEVATION [STREET ELEVATION]

ELEVATION MATERIALS KEY:

BRICK, NATURAL RAW FINISH TO TIE WITH VINNIES

BRW -BRICK, PAINTED WHITE FINISH

BLW -BLOCKWORK, PAINTED WHITE FINISH

CR -CONCRETE, RAW FINISH

RND -RENDERED CONCRETE / BLOCKWORK

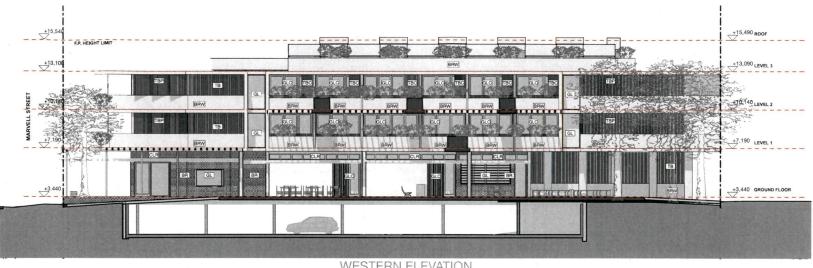
GL GLASS WINDOW, FIXED GLC -**GLASS CASEMENT**

GLASS BRICK, FIRE RATED GB -GLASS CLERESTORY WINDOW / OPERATIONAL VENTILATION'

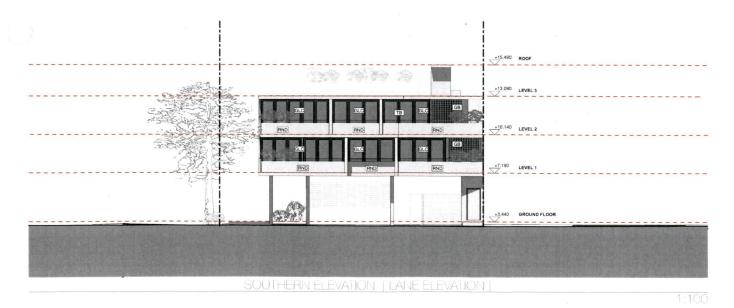
SMALL GREEN WALL-FACADE SYSTEM NORTH FACADE ONLY GW -

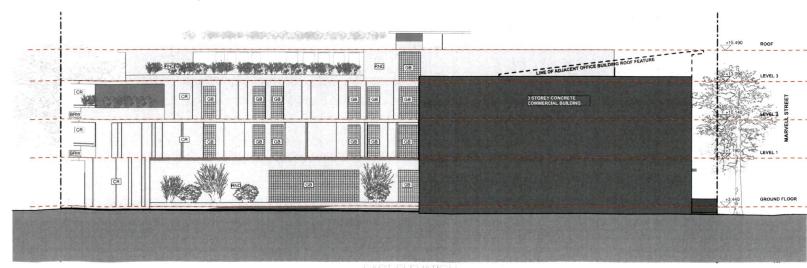
TB -TIMBER BATTENS FIXED, ACCOYA FINISH TIMBER BATTENS CASEMENT, ACCOYA TBC -

TBP -TIMBER BATTENS FIXED ON GLASS WINDOW FRAME, PIVOTING



WESTERN ELEVATION 1:100





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	Building Code of Australia (BCA) and to the satisfaction of the	G DA-APPEAL	01.03.18	M DWG ISSUE FOR NOISE ASSESMENT	02.10.18	CLIENT	MAGNATE DEVELOPMENT	ADDRESS	4 WANVELL ST		APPROVED: HG	
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1.144 JONSON ST BYRON BAY PO BOX 1285 NSW 2481	 Builders/Contractors are to verify all dimensions prior to 	I DA - LEC REVISED RL/ANNOTATION	24.07.18	O PRELIM-DA ISSUE II	04.10.18	JOB NAME	4 MARVELL ST	LOT + DP	LOT B	DP 325834	SCALE	PAPER ISS
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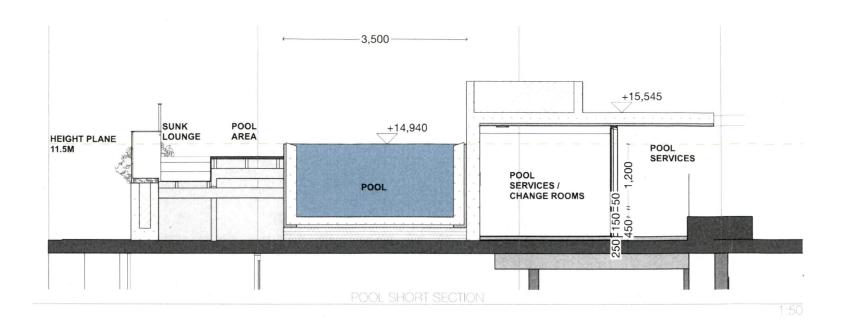
ISSUE DWG REV BOOF DECK DESIGN BEVIEW 07.09.18 09.10.18 DRAWING 1:100 A2 DA 2.1 Q **ELEVATIONS** ACCESSIBILITY & FIRE REVIEW 25.09.18 ABN: 85158246003 NSW 7892

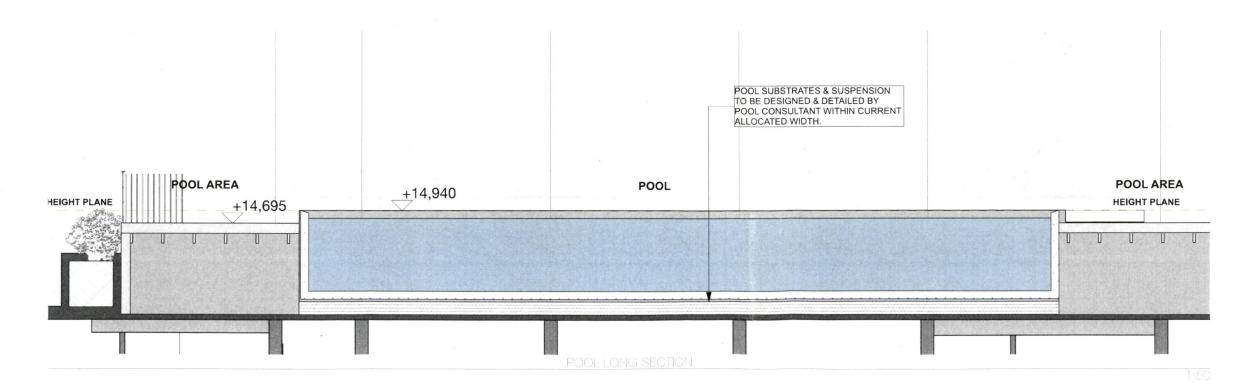
NORTH - SOUTH SECTION



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F: 02 66809820 T: 02 66809690 E: office@harleygraham.com	Figured dimensions take precedence - do not scale.	K	ROOF DECK DESIGN REVIEW	07.09.18	Q	DA ISSUE	09.10.18	DD 414//LO								
ABN: 85158246003 NSW 7892	© COPYRIGHT HARLEY GRAHAM ARCHITECTS	L	ACCESSIBILITY & FIRE REVIEW	25.09.18				DRAWING	SECTION 1	- NORT	H - SOUTH		1:100	A2 [)A 3.	1 Q

DA RFI - POOL SECTIONS





	All building works to be carried out in accordance with the	ISSUE/REVISIONS		ISSUE/REVISIONS			MAGNATE DEVELOPMENT	ADDRESS		4 MARVELL ST	APPROVED	. HC	JOB NO: HGA18	0
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EAST - WEST SECTION



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CLIENT MAGNATE DEVELOPMENT ADDRESS 4 MARVELL ST APPROVED: HG JOB NO: HGA180

JOB NAME 4 MARVELL ST LOT + DP LOT B DP 325834 SCALE PAPER ISSUE DWG NO REV

DRAWING SECTION 2 - EAST-WEST 1:100 A2 DA 3.2 Q